





INNER WEST

DEVELOPMENT ASSESSMENT REPORT

Application No.	MOD/2020/0401
Address	95 Ramsay Street HABERFIELD NSW 2045
Proposal	Modification of existing development to regularise works and inclusion of a dogwash facility
Date of Lodgement	11 November 2020
Applicant	Mr Victor Sahade
Owner	Haberfield Nominees NSW Pty Ltd
Number of Submissions	44
Value of works	\$775,850.00
Reason for determination at Planning Panel	Number of submissions exceeds officer delegation
Main Issues	Noise, parking, signage and stormwater
Recommendation	Approval with Conditions
Attachment A	Recommended modified conditions of consent
Attachment B	Plans of proposed development



LOCALITY MAP

Subject Site		Objectors		↑ N
Notified Area		Supporters		

Note: Due to scale of map, not all objectors could be shown.

1. Executive Summary

This report is an assessment of the application submitted to Council for modification of existing development to regularise works and inclusion of a dog wash facility at 95 Ramsay Street, Haberfield.

The application was notified to surrounding properties and 41 submissions were received in response to the notification.

The main issues that have arisen from the application include:

- The acoustic impact of the subject use on the surrounding residential properties;
- Insufficient parking spaces are proposed on the site;
- Excessive signage; and
- Insufficient information regarding the proposed stormwater system.

Additional information was submitted during the assessment process which adequately addressed the above concerns, subject to the imposition of appropriate conditions. It is considered that the proposal generally complies with the aims and objectives of the Ashfield Local Environmental Plan (ALEP) 2013.

Although the proposed modification represents another proposal in a series of retrospective applications for works undertaken on the site without consent, on balance the modified development will generally comply with the provisions of the Comprehensive Inner West Development Control Plan (CIWDCCP) 2016. It is considered that the proposal will not result in any significant impacts on the streetscape or amenity of adjoining properties.

2. Proposal

Approval is sought to modify the approved service station, car wash and café. The following amendments are proposed:

- Retrospective approval of the shade structure over the wipe-down area;
- Retrospective approval of the enclosure of the walkway adjacent to the carwash;
- Retrospective approval of the extension of the carwash roof;
- Retrospective approval of the installation of a number of signs; and
- Reconfiguration of the carparking arrangement and associated landscaping works.

3. Site Description

The subject site is located on the north eastern side of Ramsay Street, bounded by Kingston Street to the north and O'Connor Street to the south. The site is generally square-shaped with a total area of 1860sqm and is legally described as Lot 1 in Deposited Plan 180212.

The site has a frontage to Ramsay Street of 39.6 metres and a secondary frontage of approximate 45.7 metres to Kingston Street. The site is zoned B2 – Local Centre.

An existing service station, car wash and vehicle repair station is located on the site. Surrounding development comprises residential and commercial development.



4. Background

4(a) Site history

The following application outlines the relevant development history of the subject site:

No.	Date	Proposal	Decision
10.2017.170.4	24/09/2019	Modification of approved service station & extension of trading hours until 7.00pm daily	Refused
10.2017.170.3	01/03/2019	Removal of a 3m wide section of approved landscape strip and construction of new vehicle crossing to Kingston Street.	Approved
10.2017.170.2	30/11/2018	Section 4.55 application to amend DA2017.170 to retain the existing service station, reversal of the vehicle flow and modifications to the existing floor area and approved staff amenities building.	Approved
10.2017.170.1	21/01/2018	Alterations and additions to existing service station to create a new extended building to provide a convenience store, new café and ancillary spaces, new single storey building to provide plant, amenities and staff room, a new car washing facility, car parking and associated signage.	Approved

10.2005.159.1	20/09/2005	Construction of a concrete block retaining wall and fence between the service station at No. 95 Ramsay Street and the dwelling house at No. 1 Kingston Street; Installation of crash barrier on service station side.	Approved
10.2001.109.1	13/12/2001	Demolition of existing service station and removal of all trees on the site; construction of petrol station/convenience store to operate 24 hours and construction of a car wash and advertising signage.	Refused
6.1990.370.1	26/10/1990	Alterations to Service Station	Approved
6.1984.15.1	07/02/1984	Building Application – Steel Canopy	Approved
6.1981.459.1	17/11/1981	Building Application – Convert to Self Service	Approved
6.1970.7720.1	01/01/1970	Building Application – Carwash	Approved
6.1962.4071.1	05/06/1962	Building Application	Approved
6.1938.8564.1	30/08/1938	Building Application	Approved
6.1937.8246.1	28/09/1937	Building Application	Approved

4(b) Application history

The following table outlines the relevant history of the subject application.

Date	Discussion / Letter / Additional Information
11/11/2020	Application lodged with Council
11/12/2020	Request for additional information issued to applicant (detailed below)
07/01/2021	Additional information submitted to Council

A request for additional information was issued to the applicant on 11 December 2020 which required the following:

- The site plan be amended to clearly differentiate between all approved works, proposed works and all sections seeking retrospective approval, and that all vacuuming/ cleaning equipment under the shade structure be shown;
- An Acoustic Report assessing the likely acoustic impacts of the modified development;
- Eight (8) car parking spaces to be provided. In addition, the following concerns were raised regarding the proposed configuration:
 - Spaces 1 to 3 are impractical for use given their location behind the carwash areas and the movement of traffic in these areas;
 - Spaces 4 & 5 will impede traffic movement into the car wash area from Ramsay Street and provide little room to access the proposed dog wash facility; and
 - Spaces 6 & 7 are unusable given the location of the existing sign and vacuuming area.

- All signage to be clearly shown on the elevations. In addition, concern was raised that the extent of signage proposed is excessive, particularly given the residential nature of the surrounding area; and
- A Stormwater Plan be submitted to assess the cumulative impacts of the proposed modifications.

Additional information was submitted to Council on 7 January 2021 which provided the following justification (italicised) for the matters raised above, followed by comments from Council Officers.:

- *Acoustic assessment of all the structures on the site (including those seeking retrospective approval as part of this application) was undertaken in 2020 required by Prevention Notice POEO/2020/0001 and all required noise attenuation works were carried out.* This information was further reviewed by Council's Health Officer who raised no objection to the acoustic impact of the development, subject to compliance with the proposed Plan of Management and appropriate conditions relating to noise;
- *Development Consent 10.2017.170.3 resulted in a reduction to seven (7) car parking spaces on the site.* The plans approved by this application however indicate nine (9) parking spaces on the site and as such, a condition of consent has been imposed requiring eight (8) spaces be retained on the site as per the requirements of CIWDCP 2016;
- *Spaces 1 to 3 are designated for staff who typically access the space prior to/after the commencement of car washing and as such will not impact access to or movement within the car wash.* This justification is considered to be satisfactory;
- *Spaces 4 & 5 are positioned to provide direct access to the dog wash and given the southern most Ramsay Street vehicle crossover is typically used as an exit for vehicles, will not impact traffic movement.* This justification is considered to be satisfactory, subject to the imposition of a condition requiring this driveway be line marked as an exit to minimise traffic impacts;
- *Spaces 6 & 7 are positioned to provide direct access to the vacuuming/tyre pump facilities.* This justification is considered to be satisfactory;
- *The larger signs serve the purpose of wayfinding, business identification and public safety whilst the smaller signs are focused internally within the development.* This justification is not considered to be satisfactory and as such a condition of consent has been imposed requiring the removal of a number of signs. Further assessment of the signage is undertaken in Part 5(a) of this report;
- *As no additional impermeable area is proposed the existing approved stormwater plan is still valid.* This information was further reviewed by Council's Engineer who raised concern regarding the impact of new roofed areas and as such, a condition of consent has been imposed which requires an amended stormwater plan be submitted.

5. Assessment

The following is a summary of the assessment of the application in accordance with Section 4.15 and 4.55 of the *Environmental Planning and Assessment Act 1979*.

5(a) Environmental Planning Instruments

The application has been assessed against the relevant Environmental Planning Instruments listed below:

- *State Environmental Planning Policy No. 55—Remediation of Land*
- *State Environmental Planning Policy No. 64 – Advertising and Signage*
- *State Environmental Planning Policy (Vegetation in Non-Rural Areas) 2017*
- *Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005*
- *Ashfield Local Environmental Plan (ALEP) 2013*

The following provides further discussion of the relevant issues:

5(a)(i) *State Environmental Planning Policy No 55—Remediation of Land*

State Environmental Planning Policy No. 55 - Remediation of Land (SEPP 55) provides planning guidelines for remediation of contaminated land. CIWDCP 2016 provides controls and guidelines for remediation works. *SEPP 55* requires the consent authority to be satisfied that “the site is, or can be made, suitable for the proposed use” prior to the granting of consent.

The site has been used in the past for activities which could have potentially contaminated the site. Given the application seeks modification to the approved/ existing service station only, it is considered that the development does not necessitate remediation in accordance with *SEPP 55*.

5(a)(ii) *State Environmental Planning Policy No. 64 - Advertising and Signage* (SEPP 64)

The following is an assessment of the proposed development under the relevant controls contained in *SEPP 64*.

SEPP 64 specifies aims, objectives, and assessment criteria for signage as addressed below. Schedule 1 of *SEPP 64* specifies assessment criteria for signage relating to character of the area, special areas, views and vistas, streetscape, setting or landscaping, site and building, illumination and safety. The proposed signage is considered satisfactory having regard to the assessment criteria contained in Schedule 1 of *SEPP 64*.

Signs and Advertising Structures

The application seeks consent for the erection of the following additional signage:

- 1 x ground mounted sign measuring approximately 1190mm (width) by 3600mm (height) fronting the corner of Ramsay Street and Kingston Street reading “4 MIN CAR WASH \$19” (Sign A);
- 1 x ground mounted sign measuring approximately 1190mm (width) by 2820mm (height) fronting Ramsay Street indicating the fuel prices (Sign B);
- 1 x illuminated wall sign measuring approximately 4000mm (width) by 790mm (height) fronting Ramsay Street reading “CRYSTAL carwash café” (Sign D);

- 1 x illuminated wall sign measuring approximately 120mm (width) by 600mm (height) fronting Ramsay Street reading “CRYSTAL carwash café” (Sign F);
- 1 x ground mounted sign measuring approximately 3230mm (width) by 1550mm (height) fronting Kingston Street reading “CRYSTAL carwash cafe” (Sign I);
- 2 x parapet signs measuring approximately 4000mm (width) by 400mm (height) fronting Ramsay Street and Kingston Street reading “CRYSTAL carwash café” (Signs L & J);
- 1 x wall sign measuring approximately 6990mm (width) by 910mm (height) fronting Kingston Street reading “CRYSTAL carwash café” (Sign K);
- 2 x ground mounted signs measuring approximately 950mm (width) by 1250mm (height) fronting Ramsay Street advertising various in-store products (Sign N);
- 3 x fence mounted signs measuring approximately 2790mm (width) by 900mm (height) fronting Ramsay Street advertising carwash prices (Sign M);
- 3 x double sided illuminated signs mounted on the fuel canopy measuring approximately 780mm (width) by 780mm (height) containing the BP ‘Helio’ (Sign P);
- 4 x doubled sided signs mounted on the fuel canopy columns measuring approximately 1360mm (width) by 900mm (height) containing “BP Ultimate” (Sign Q).

Having regard to the assessment criteria contained in Schedule 1 of SEPP 64, concern is raised that the signage proposed on the site is excessive and inconsistent with the character of the area and the streetscape. It is noted that the site adjoins low density residential development and is within the Haberfield Conservation Area. In particular, it is considered that Signs I, L & J are unnecessary given their positioning and proximity to similar signs and that the number of signs provided along the southern property boundary (Signs M & N) are excessive and unnecessary.

As such, a condition of consent has been imposed requiring Sign I, L & J be deleted, Sign M be amended to be one (1) sign only and Sign N be amended to be one (1) sign only. In addition, a condition of consent has been imposed requiring all illuminated signs be illuminated during the approved operating hours only.

5(a)(iii) State Environmental Planning Policy (Vegetation in Non-Rural Areas) (Vegetation SEPP)

Vegetation SEPP concerns the protection/removal of vegetation identified under the SEPP and gives effect to the local tree preservation provisions of Council’s DCP. The proposed modification will not impact any significant vegetation on the site or on Council land.

5(a)(iv) Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005

An assessment has been made of the matters set out in Division 2 Matters for Consideration of the *Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005*. It is considered that the carrying out of the proposed development is generally consistent with the relevant matters for consideration of the Plan and would not have an adverse effect on environmental heritage, the visual environment, the natural environment and open space and recreation facilities.

5(a)(v) Ashfield Local Environment Plan 2013 (ALEP 2013)

The application was assessed against the following relevant clauses of the *Ashfield Local Environmental Plan 2011*:

- Clause 2.3 - Land Use Table and Zone Objectives
- Clause 2.7 - Demolition
- Clause 4.3 - Height of buildings
- Clause 4.4 - Floor space ratio
- Clause 5.10 - Heritage Conservation
- Clause 6.5 - Development on land in Haberfield Heritage Conservation Area

(i) Clause 2.3 - Land Use Table and Zone Objectives

The site is zoned B2 – Local Centre under the *ALEP 2013*. The *ALEP 2013* defines the development as:

“Service Station”

The development is permitted with consent within the land use table. The development is consistent with the objectives of the B2 zone. The proposed “dog wash” area is a small, ancillary component which is indistinguishable in form from the approved car wash and is considered permissible as an ancillary component of the approved principal use.

The following table provides an assessment of the application against the development standards:

Standard	Proposal	Complies
Height of Building	No change to the approved building height proposed	Yes
Floor Space Ratio	No change to the approved gross floor area proposed	Yes
Heritage Conservation	It is considered that the proposed modifications will not alter the heritage impact of the approved development or the significance of the surrounding heritage conservation area	Yes
Development on land in Haberfield Heritage Conservation Area	As the development is not a dwelling house, the clauses relating to the Haberfield Conservation Area are not applicable	Yes

5(b) Draft Environmental Planning Instruments

There are no relevant Draft Environmental Planning Instruments.

5(c) Draft Inner West Local Environmental Plan 2020 (Draft IWLEP 2020)

The Draft IWLEP 2020 was placed on public exhibition commencing on 16 March 2020 and accordingly is a matter for consideration in the assessment of the application under *Section 4.15(1)(a)(ii) of the Environmental Planning and Assessment Act 1979*.

The amended provisions contained in the Draft IWLEP 2020 are not relevant to the assessment of the application. Accordingly, the development is considered acceptable having regard to the provisions of the Draft IWLEP 2020.

5(d) Development Control Plans

The application has been assessed and the following provides a summary of the relevant provisions of Comprehensive Inner West Development Control Plan (DCP) 2016 for Ashbury, Ashfield, Croydon, Croydon Park, Haberfield, Hurlstone Park and Summer Hill.

IWCDCP2016	Compliance
Section 1 – Preliminary	
B – Notification and Advertising	Yes
Section 2 – General Guidelines	
A – Miscellaneous	
8 - Parking	No – see discussion below
10 - Signs and Advertising Structures	No – see discussion in Part 5(a) of this report
E2 – Haberfield Heritage Conservation Area	
3 – Planning Measures for Commercial properties	Yes

Parking

In accordance with Chapter A, Part 8 of CIWDCP 2016, eight (8) car parking spaces are required. Seven (7) spaces are proposed however the applicant has demonstrated that site is capable of providing additional parking spaces and as such, a condition of consent has been imposed requiring eight (8) spaces be retained on the site.

5(e) Section 4.55 Assessment

Under Section 4.55 of the Environmental Planning and Assessment Act, 1979, Council, when considering a request to modify a Determination, must:

- f) be satisfied that the development as modified is substantially the same development as the development for which consent was originally granted;
- g) consult with any relevant authority or approval body;
- h) notify the application in accordance with the regulations;
- i) consider any submissions made; and
- j) take into consideration the matters referred to in Section 4.15 as are of relevance to the development the subject of the application.

The development being modified is substantially the same development as the development for which consent was originally granted. No authorities or bodies were required to be consulted. The application was notified in accordance with the regulations and Council's

policy and the submissions considered below. The relevant matters under Section 4.15 have been addressed within this report.

It is considered that the modifications will not alter compliance with any relevant parts of the *Ashfield Local Environmental Plan 2013* or *Comprehensive Inner West Development Control Plan 2016*.

5(f) The Likely Impacts

The assessment of the Development Application demonstrates that, subject to the recommended conditions, the proposal will have minimal impact in the locality.

5(g) The suitability of the site for the development

Provided that any adverse effects on adjoining properties are minimised, this site is considered suitable to accommodate the proposed development, and this has been demonstrated in the assessment of the application.

5(h) Any submissions

The application was notified in accordance with Council's Notification Policy for a period of 14 days to surrounding properties. 41 submissions were received in response to the initial notification.

The submissions raised the following concerns which are discussed under the respective headings below:

Issue: Noise

Comment: Concern was raised in a number of submissions regarding the acoustic impact of the existing use and proposed modifications on the surrounding residential properties. Acoustic assessment was undertaken prior to the lodgement of the application and appropriate measures undertaken to ensure the use would not result in any unreasonable acoustic impacts. The application was referred to Council's Health Officer who raised no objection to the proposed works, subject to the imposition of an appropriate condition regarding the Plan of Management.

Issue: Parking

Comment: Concern was raised in a number of submissions that insufficient parking is provided on the site. A condition of consent has been imposed to ensure sufficient parking is provided in accordance with CIWDCP 2016.

Issue: Traffic/Safety

Comment: Concern was raised in a number of submissions regarding traffic movement in the site and surrounding streets, with particular regard to pedestrian safety. It is considered that the proposed modifications will not substantially alter traffic movement within the site and surrounding streets. A condition of consent has been imposed which requires the southernmost Ramsay Street driveway be appropriately line marked so as to ensure the proposed parking will not substantially impact traffic movements within the site. It is not considered that the parking location or traffic movement as a result of the use presents any unreasonable impact to pedestrian safety.

Issue: Overdevelopment

Comment: Concern was raised in a number of submissions that the proposed modifications results in an overdevelopment of the site. The proposed development satisfies

the numerical requirements of *ALEP 2013* and *CIWDCP 2016* and is considered to be of an appropriate scale for the intended use.

Issue: Heritage/Streetscape

Comment: Concern was raised in a number of submissions regarding the impact of the proposed development on the heritage conservation area and surrounding streetscape. In particular, concern was raised that the development is not subject to the same requirements of the surrounding residential development having regard to heritage. In order to minimise the impact on the conservation area and streetscape, a number of signs are recommended to be removed. Given the proposed use is a service station, the development is not subject to the residential controls of the Haberfield Heritage Conservation Area.

Issue: Unauthorised Works

Comment: Concern was raised in a number of submissions regarding the unauthorised works undertaken on the property. This modification application seeks to rectify the unauthorised works by obtaining retrospective approval.

Issue: Rubbish/Pollution

Comment: Concern was raised in a submission regarding the generation of rubbish and pollution as a result of the use. The use is not considered to be one that generates unreasonable rubbish or pollution. In accordance with the Plan of Management, the Site Manager will be responsible for ensuring the amenity of the local area is retained.

5(i) The Public Interest

The public interest is best served by the consistent application of the requirements of the relevant Environmental Planning Instruments, and by Council ensuring that any adverse effects on the surrounding area and the environment are appropriately managed. The proposal is not contrary to the public interest.

6 Referrals

The application was referred to the following internal officers and issues raised in those referrals have been discussed in Part 5 above.

- Health
- Engineering

7. Section 7.11 Contributions/7.12 Levy

The proposed modifications will not alter the contributions payable for the approved development.

8. Conclusion

The proposal generally complies with the aims, objectives and design parameters contained in *Ashfield Local Environmental Plan 2013* and *Comprehensive Inner West Development Control Plan (DCP) 2016* for Ashbury, Ashfield, Croydon, Croydon Park, Haberfield, Hurlstone Park and Summer Hill.

The development will not result in any significant impacts on the amenity of the adjoining premises/properties and the streetscape and is considered to be in the public interest.

The application is considered suitable for approval subject to the imposition of appropriate conditions.

9. Recommendation

- A. That the Inner West Local Planning Panel exercising the functions of the Council as the consent authority, pursuant to s4.16 of the *Environmental Planning and Assessment Act 1979*, grant consent to approved Development Application No. MOD/2020/0401 for Modification of existing development to regularise works and inclusion of a dogwash facility at 95 Ramsay Street HABERFIELD NSW 2045 subject to the modified conditions listed in Attachment A below.

Attachment A – Recommended modified conditions of consent

Attachment A – Recommended modified conditions of consent

1. Condition A(1) be amended to read:

(1) Approved plans stamped by Council

The development must be carried out only in accordance with the plans and specifications set out on drawing numbers

No.	Issue	Title	Prepared by	Council Date Stamp
A1.00	1	Site Analysis	i.d. Projects	21/09/2017
A1.01	D	Site Plan	i.d. Projects	11/12/2018
A1.03	C	Demolition Plan	i.d. Projects	06/07/2018
A2.00	C	Existing Floor Plan	i.d. Projects	06/07/2018
A2.01	C	Proposed Floor Plan	i.d. Projects	06/07/2018
A2.02	C	Proposed Roof Plan	i.d. Projects	06/07/2018
A3.02	C	Elevations	i.d. Projects	06/07/2018
A3.03	C	Elevations	i.d. Projects	06/07/2018
A4.01	C	Sections	i.d. Projects	06/07/2018
A4.02	C	Sections	i.d. Projects	06/07/2018
A5.01	C	Schedules	i.d. Projects	06/07/2018
A6.01	C	Finishes	i.d. Projects	06/07/2018
A6.02	C	Finishes	i.d. Projects	06/07/2018
A7.01	C	Perspectives	i.d. Projects	06/07/2018
A7.02	C	Perspectives	i.d. Projects	06/07/2018
A8.01	C	Signage Plan	i.d. Projects	06/07/2018
A8.02	C	Signage Detail	i.d. Projects	06/07/2018

As amended by:

No.	Issue	Title	Prepared by	Council Date Stamp
A1.01	H	Site Plan	i.d. Projects	28/09/2020
A2.01	H	Proposed Floor Plan	i.d. Projects	28/09/2020
A2.02	H	Proposed Roof Plan	i.d. Projects	28/09/2020
A3.02	H	Elevations	i.d. Projects	28/09/2020
A3.03	H	Elevations	i.d. Projects	28/09/2020
A4.01	H	Sections	i.d. Projects	28/09/2020
A4.02	H	Sections	i.d. Projects	28/09/2020
A5.01	C	Schedules	i.d. Projects	28/09/2020
A6.01	H	Finishes	i.d. Projects	28/09/2020

A6.02	C	Finishes	i.d. Projects	28/09/2020
A7.01	H	Perspectives	i.d. Projects	28/09/2020
A7.02	H	Perspectives	i.d. Projects	28/09/2020
A8.01	I	Signage Plan	i.d. Projects	28/09/2020
A8.02	I	Signage Detail	i.d. Projects	28/09/2020
A8.03		Signage Detail	i.d. Projects	28/09/2020

and any supporting documentation received with the application, except as amended by the conditions specified hereunder.

2. Condition B(2) be added which reads:

(2) Design Change

Prior to the issue of a Construction Certificate, the Certifying Authority is to be provided with amended plans which demonstrate the following:

- a) **Signs I, L and J as indicated on the approved plans be deleted;**
- b) **Sign M as indicated on the approved plans be amended to be one (1) sign only;**
- c) **Sign N as indicated on the approved plans be amended to be one (1) sign only; and**
- d) **The southernmost driveway on Ramsay Street be appropriately line marked as an exit only from the site.**

3. Condition B(3) be added which reads

(3) Design Change

Prior to the issue of a Construction Certificate, the approved Stormwater Plans shall be revised incorporating the shade structure, covered walkway and modified roof drainage and certified by a suitably qualified Civil Engineer.

4. Condition H(15) be amended to read:

(15) Parking spaces and loading areas - maintenance/ line marking/use

Eight (8) off-street car parking spaces and the loading/unloading areas provided on site shall be maintained and line marked in accordance with AS2890.1 (1993). Under no circumstances are such spaces to be used for the storage of goods or waste products.

5. Condition H(22) be added which reads:

(22) Illuminated Signs

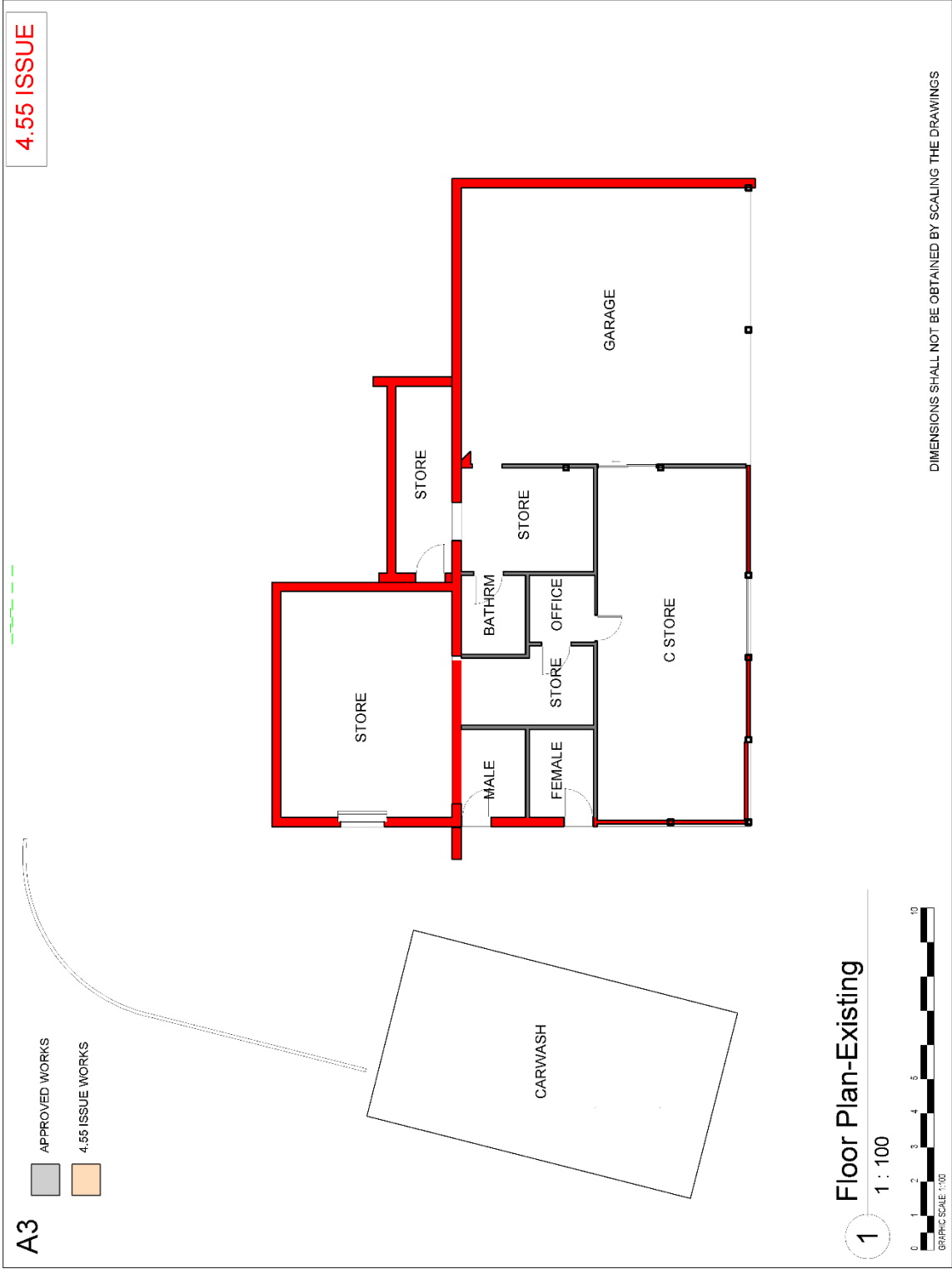
All approved illuminated signs on the site are to be illuminated only during the approved hours of operation.

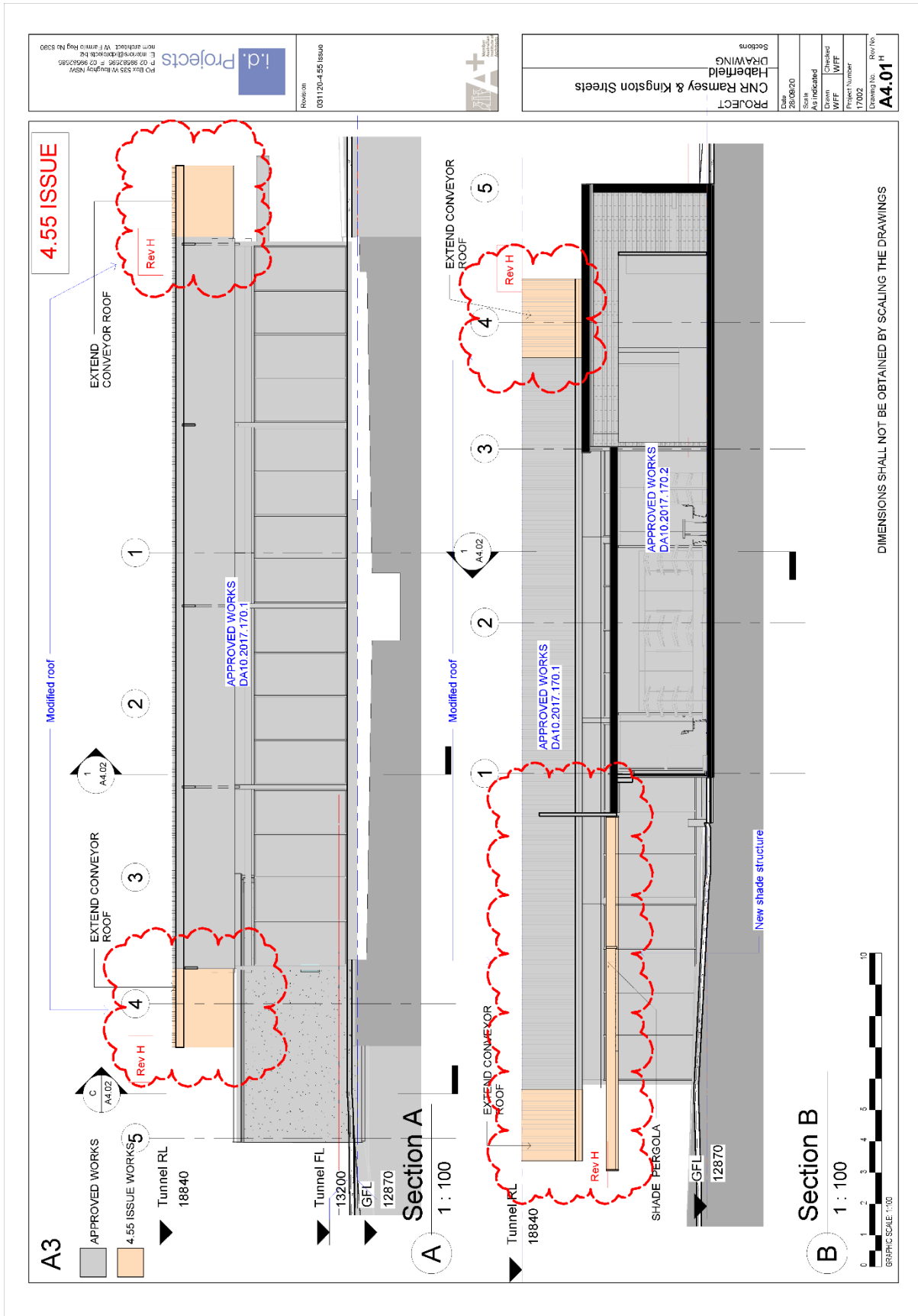
6. Condition H(23) be added which reads:

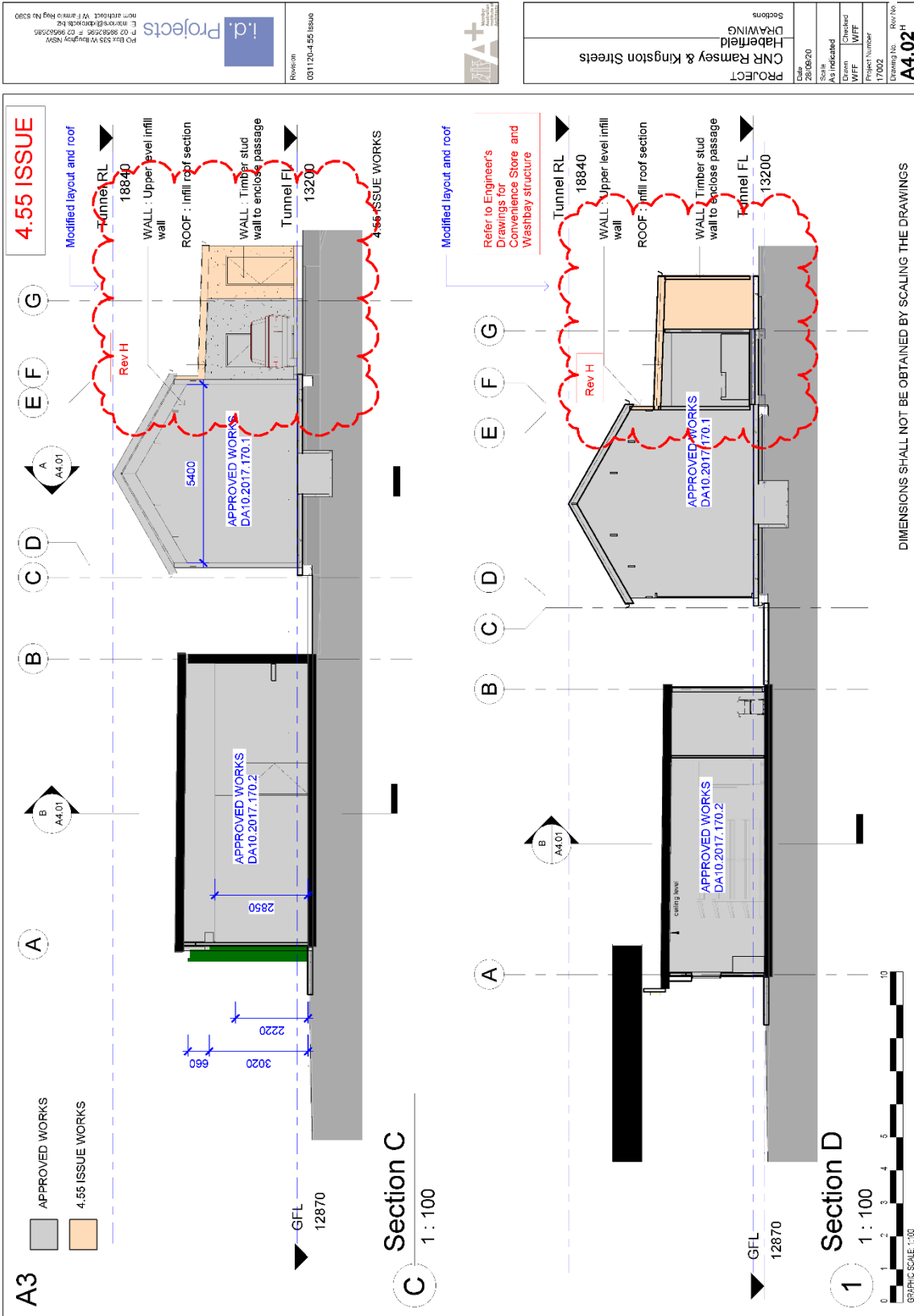
(23) Illuminated Signs

A copy of the Plan of Management by John Coady Consulting dated 14 September 2020 Ref: 16030 must always be keep on site and staff are to comply with the Plan of Management in order to prevent a nuisance to nearby premises. The Plan of Management must not to be amended without the prior consent of Council and must be made available to Council officers and the Police upon request.

 PO Box 563 Vaucluse NSW P 02 9662 2855 F 02 9662 2855 E info@idprojects.com.au www.idprojects.com.au	Revision S96 Issue		PROJECT CNR Ramsey & Kingston Streets Habfield DRAWING	Existing Floor Plan Date 26/06/20	Scale As Indicated	Author WJF	Checker WJF	Project Number 17/002	Drawing No. A2.00 Rev No C
--	-----------------------	---	---	---	-----------------------	---------------	----------------	--------------------------	-------------------------------------







PO Box 593 Waverley NSW
 Tel: 02 9369 4200
 Fax: 02 9369 4205
 www.projects.i.d.

Revision: 001120-4.55 Issue

PROJECT
 CNR Ramsey & Kingston Streets
 Haberfield
 DRAWING

Sections
 Date: 26/08/20
 Scale: As Indicated
 Author: WFF
 Checker: WFF
 Project Number: 17/002
 Drawing No.: Rev No.
A4.02

A3

98-97 Ramsey Rd Haberfield

Building name/occupation: **98-97 Ramsey Rd Haberfield**

Shed: **1**

Exclude areas:

	N	NE	E	SE	S	SW	W	NW	Internal
Option A		51.3m ²				51.3m ²		24.2m ²	
Option B									
Glazing area (A)	24.1m ² 37.6m ² 19.5m ²								

Application: **Shop display**

Climate zone: **5**

4.55 ISSUE

Part J1 Building Fabric

J1.3 Roof and Ceiling Construction

J1.3 Required Minimum Total R Value from Table J1.3(e)

Yes Required minimum R = 3.2

J1.3 Does the building have a metal roof?

Yes

J1.3 Check/provide construction details to achieve R3.0 insulation required (excluding where a lower conditioned space is covered by unconditioned space e.g. plant room).

If the building has a metal roof and purflins directly attached to ceiling, provide details of the thermal break

- Separated by roof cavity.

Target outcome is to enforce the following:

Achieve a minimum Total R Value of 3.2

Verify the thermal break requirements

J1.5 Walls

J1.5 Required Minimum Total R Value for external envelope walls (conditioned space) is:

Table J1.5b

a (i) Achieve a minimum Total R Value of 2.8

Less 0.6 for

a (i) A surface density 375kg/m² >220 kg/m²

Total R Value min. R = 2.8

Target min R value R = 2.3

Insulation Batt: R2.0 plus required

4.55 ISSUE WORKS

R2.0 insulation

External 9mm CFC on STUD WALL

13mm Plasterboard

Target outcome is to enforce the following:

Achieve a minimum Total R Value of 2.3

J1.6 Floors

J1.6 Table J1.6 (a) (i)

Required Minimum Total R Value

Nil (slab on ground)

J1.6 Check / provide floor construction details.

- Slab on ground

Part J2 External Glazing

J2.4 Glazing

Glazing calculator printout attached

Note Glazing calculator Total System U-Value & SHGC requirements

Glass U=3.6 SHGC=0.41

Veridian ComfortPlus ITO

Grey 37 (#4)

Part J3 Building Sealing

J3.4 Windows and Doors

Provide seals to manufacturer's specification.

Target outcome is to enforce the following:

Ensure each element is checked and sealed.

PROJECT
CNR Ramsey & Kingston Streets
DRAWING
Haberfield
Schedule

Date: 26/08/20
Scale:
Drawn: WFF
Checked: WFF
Project Number: 17/002
Drawing No.: Rev/No
A5.01

Rev C

4.55 ISSUE

Part J1 Building Fabric

J1.3 Roof and Ceiling Construction

J1.3 Required Minimum Total R Value from Table J1.3(e)

Yes Required minimum R = 3.2

J1.3 Does the building have a metal roof?

Yes

J1.3 Check/provide construction details to achieve R3.0 insulation required (excluding where a lower conditioned space is covered by unconditioned space e.g. plant room).

If the building has a metal roof and purflins directly attached to ceiling, provide details of the thermal break

- Separated by roof cavity.

Target outcome is to enforce the following:

Achieve a minimum Total R Value of 3.2

Verify the thermal break requirements

J1.5 Walls

J1.5 Required Minimum Total R Value for external envelope walls (conditioned space) is:

Table J1.5b

a (i) Achieve a minimum Total R Value of 2.8

Less 0.6 for

a (i) A surface density 375kg/m² >220 kg/m²

Total R Value min. R = 2.8

Target min R value R = 2.3

Insulation Batt: R2.0 plus required

4.55 ISSUE WORKS

R2.0 insulation

External 9mm CFC on STUD WALL

13mm Plasterboard

Target outcome is to enforce the following:

Achieve a minimum Total R Value of 2.3

J1.6 Floors

J1.6 Table J1.6 (a) (i)

Required Minimum Total R Value

Nil (slab on ground)

J1.6 Check / provide floor construction details.

- Slab on ground

Part J2 External Glazing

J2.4 Glazing

Glazing calculator printout attached

Note Glazing calculator Total System U-Value & SHGC requirements

Glass U=3.6 SHGC=0.41

Veridian ComfortPlus ITO

Grey 37 (#4)

Part J3 Building Sealing

J3.4 Windows and Doors

Provide seals to manufacturer's specification.

Target outcome is to enforce the following:

Ensure each element is checked and sealed.

12 (as currently employed)

Number of rows preferred in table below

GLAZING ELEMENT	Facing sector		Size		SHADING		Performance		SHADING		Performance		CALCULATED OUTCOMES OK (if inputs are valid)		Outcomes
	Option A (facade)	Option B (facade)	Height (m)	Width (m)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	Area (m ²)	
1 8mm Veridian SuperGrey	NE	NE	2.40	4.69	11.26	11.26	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	48% of 85%
2	NW	NW	2.40	5.47	13.13	13.13	0.00	1.00	1.00	1.00	1.00	1.00	1.00	1.00	42% of 85%
3	SW	SW	2.40	3.87	9.26	9.26	0.42	0.45	0.95	0.81	0.25	0.25	0.25	0.25	89% of 91%
4	NW	NW	2.40	4.15	9.90	9.90	0.42	0.45	0.95	0.81	0.25	0.25	0.25	0.25	86% of 91%
5	NW	NW	2.40	2.15	5.16	5.16	0.42	0.45	0.95	0.81	0.25	0.25	0.25	0.25	86% of 91%
6	SW	SW	2.40	2.62	6.29	6.29	1.75	0.45	0.56	0.48	0.42	0.42	0.42	0.42	71% of 87%
7	SW	SW	2.40	2.62	6.29	6.29	1.75	0.45	0.56	0.48	0.42	0.42	0.42	0.42	71% of 87%
8	SW	SW	2.40	5.39	12.94	12.94	1.75	0.45	0.56	0.48	0.42	0.42	0.42	0.42	89% of 87%
9	SW	SW	1.90	3.90	7.51	7.51	1.20	2.80	0.42	1.35	0.98	0.98	0.98	0.98	91% of 87%
10	SW	SW	1.90	1.29	2.45	2.45	1.20	2.80	0.42	1.35	0.98	0.98	0.98	0.98	91% of 87%
11	SW	SW	1.90	1.29	2.45	2.45	1.20	2.80	0.42	1.35	0.98	0.98	0.98	0.98	91% of 87%
12	SW	SW	1.90	1.29	2.45	2.45	1.20	2.80	0.42	1.35	0.98	0.98	0.98	0.98	91% of 87%

IMPORTANT NOTICE AND DISCLAIMER IN RESPECT OF THE GLAZING CALCULATOR

The Glazing Calculator has been developed by the ABCB to assist in developing a better understanding of glazing energy efficiency parameters. While the ABCB believes that the Glazing Calculator, if used correctly, will produce accurate results, it is provided "as is" and without any representation or warranty. The ABCB does not accept liability for any errors or omissions in the Glazing Calculator. Your use of the Glazing Calculator is entirely at your own risk and the ABCB accepts no liability of any kind.

Copyright © 2014 - Australian Government, State and Territory Governments of Australia. All Rights Reserved

A3

4.55 ISSUE

4.55 ISSUE WORKS

SP1: BP Green
Apolic

G: Black powdercoated
shopfront

View A

1

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS

PROJECT
CNR Ramsey & Kingston Streets
Haberfield

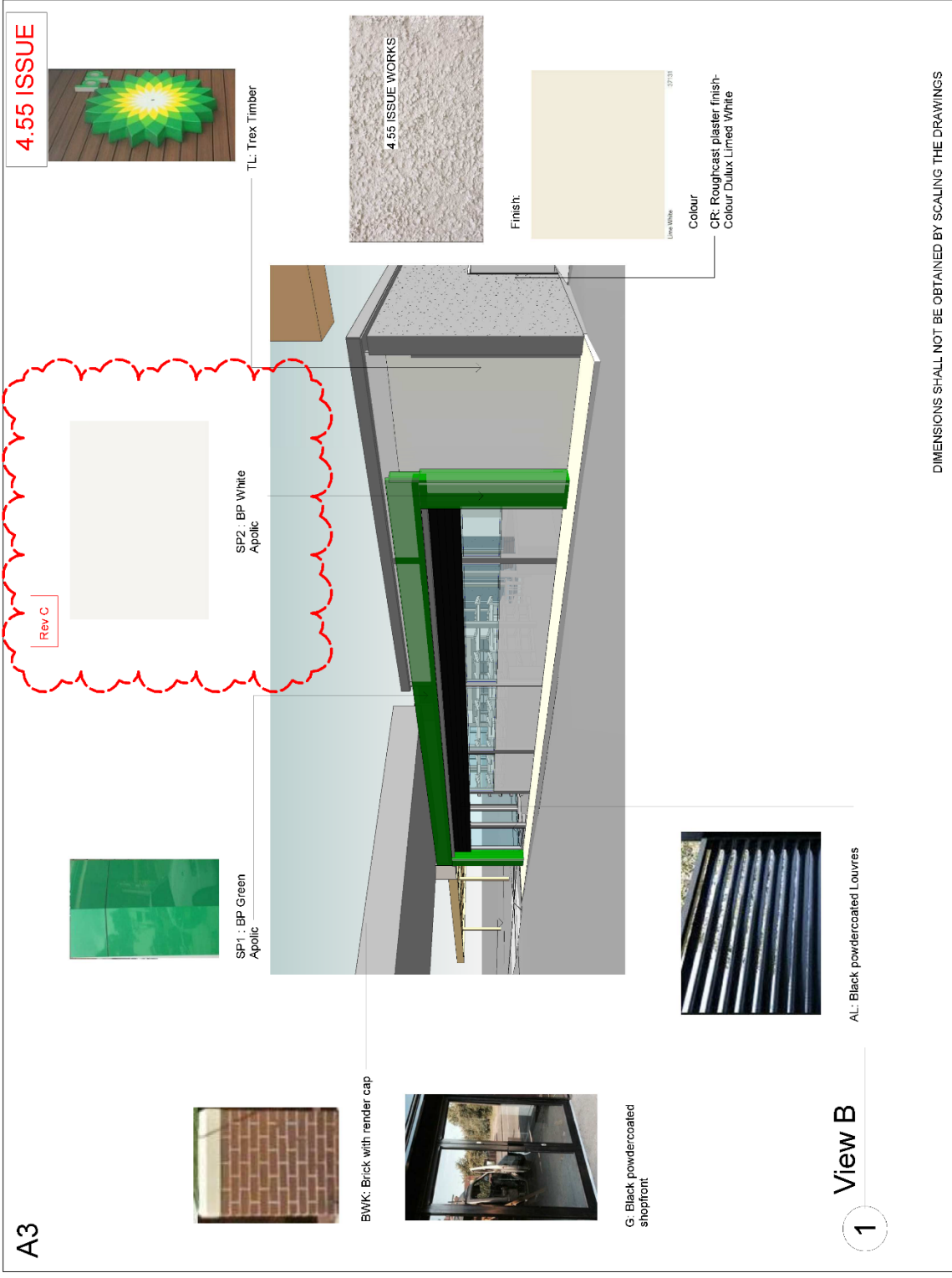
Date: 26/08/20
Scale:

Drawn: WJF
Checked: WJF
Project Number: 17/002
Drawing No.: Rev/No
A6.01

Revision: 001120-4.55 Issue

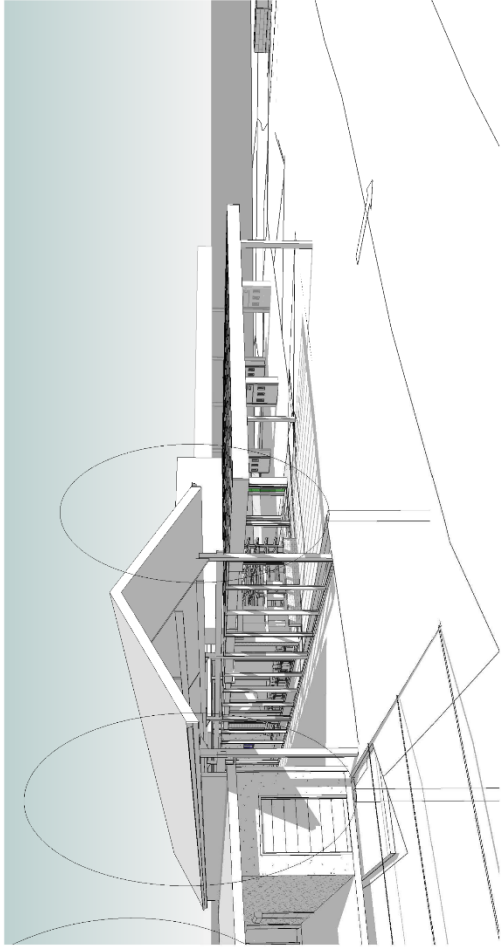
PO Box 593 Waverley NSW
P 02 9692 2500 F 02 9692 2585
E info@idprojects.com.au
www.idprojects.com.au
Licence No 15930

 <p>PO Box 593 Waverley NSW E: info@idprojects.com.au P: 02 9550 2585 17/002 non attached. W.F. in accordance with No. 5390</p>	<p>Revision S96 Issue</p>		<p>PROJECT CNR Ramsey & Kingston Streets Habfield DRAWING</p>	<p>Date 26/08/20</p>	<p>Scale</p>	<p>Drawn WFF</p>	<p>Checked WFF</p>	<p>Project Number 17/002</p>	<p>Drawing No. Rev No A6.02 C</p>
	<p>Finishes</p>								



A3

4.55 ISSUE



1 From Kingston St



2 From Cnr of Kingston & Ramsey

DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS

PO Box 593 Wauahyia NSW
 E: info@i.d.projects.com.au
 P: 02 9892 2525 F: 02 9892 2585
 from artwork. W: i.d.projects.com.au Reg No 5290

i.d. Projects

Revision: 001120-4.55 Issue

ATA
 Architecture
 Town Planning
 Urban Design

PROJECT
 CNR Ramsey & Kingston Streets
 Haberfield

Prospectus

Date:	26/08/20
Scale:	
Drawn:	WFF
Checked:	WFF
Project Number:	17/002
Drawing No.:	Rev No

A7.01

PO Box 593 Warragamba NSW
 P 02 98923252 F 02 95622285
 E info@i.d.projects.com.au
 W www.i.d.projects.com.au
 Warragamba Reg No 5290

i.d. Projects

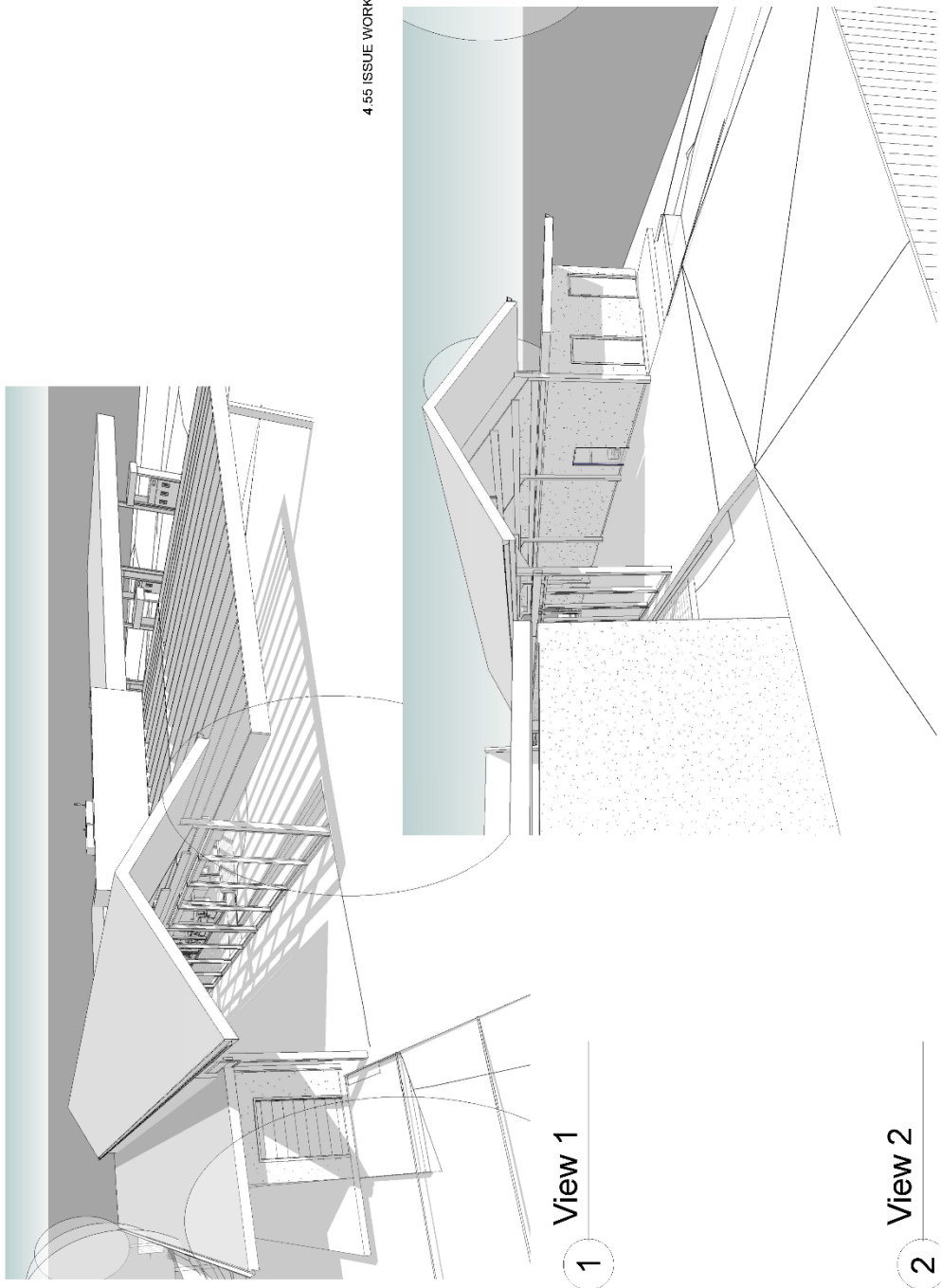
Revision: 001120-4.55 Issue




PROJECT
 CNR Ramsey & Kingston Streets
 Haberfield

Prospectors
 Date: 26/08/20
 Scale:
 Design: WJF
 Checker: WJF
 Project Number: 17/002
 Drawing No.: Rev No:
A7.02

4.55 ISSUE



View 1

View 2

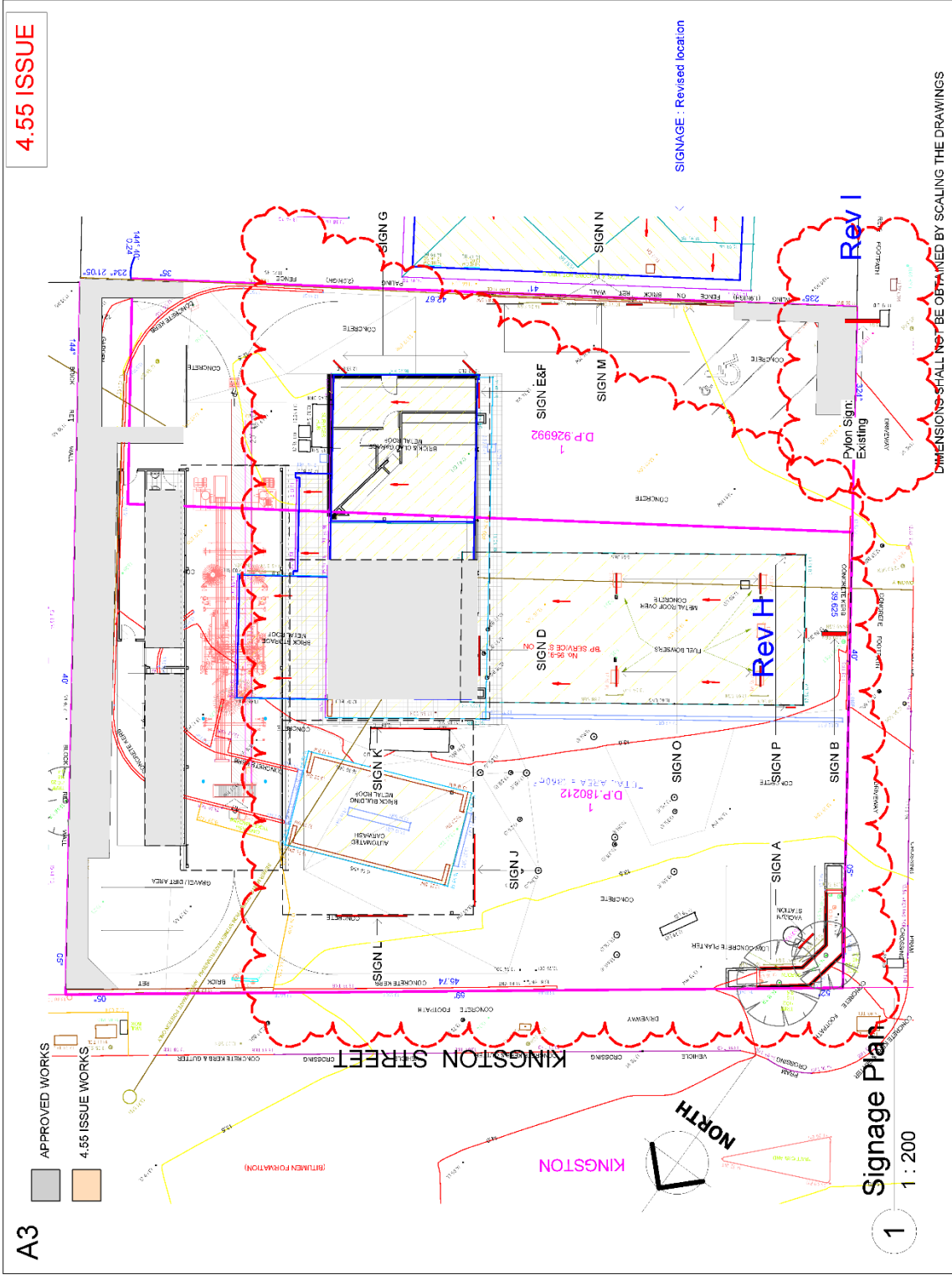
DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS

A3

Revision
03/03/21 - Pylon Sign

i.d. Projects
PO Box 593 Waverley NSW
Ph: 02 9552 2255
E: info@idprojects.com.au
www.idprojects.com.au
Waverley NSW No 5390

PROJECT
CNR Ramsey & Kingston Streets
Haberfield
DRAWING
Signage Plan
Date
26/08/20
Scale
As Indicated
Author
WJF
Checked
WJF
Project Number
17/002
Drawing No. Rev No
A8.01





K9000 2.0, K9000, K9L & Groom Easy Layout Information and Specifications



© Copyright 2016, Tru Blu Dog Wash, All rights reserved. K9000® is a registered trademark of Tru Blu Dog Wash.

© Copyright 2016, All rights reserved. K9000® is a registered trademark of Tru Blu Dog Wash.

All requests and enquiries regarding the use of and availability of this manual are to be directed to:

Tru Blu Dog Wash
Factory No. 1
34 Caramut Road
Warrnambool
Victoria 3280
Australia

Tel: +61 (0)3 55629088
Fax: +61 (0)3 55629022
Email: info@trubludogwash.com.au
Website: www.trubludogwash.com.au
www.findadogwash.com

Table of Contents

1 Specification Drawings & Plans..... 1

 1.1 Specifications..... 1

 1.2 Plan 1

2 System Specifications..... 3

3 Waste 4

 3.1 Existing Sites 4

 3.2 New Sites..... 4

4 Hot Water..... 5

 4.1 Site Supplied Hot Water..... 5

 4.2 On Board Hot Water Service..... 6

5 Back Flow Prevention Device..... 7

6 Electrical Installation of the Unit 8

7 Fact Sheet 9

8 Appendices 1

 8.1 Plumbing Schematic Individual Protection..... 1

 8.2 Plumbing Schematic Break Tank Zone 2

 8.3 Plumbing Schematic Zone Protection 3

9 Attachments..... 4

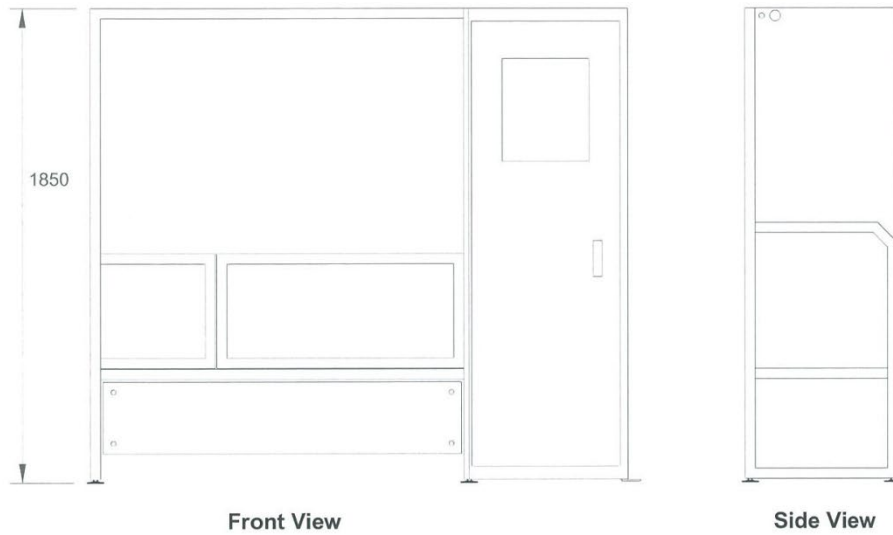
 9.1 Plumbing Schematic Break Tank Zone 4

 9.2 Plumbing Schematic Individual Protection..... 4

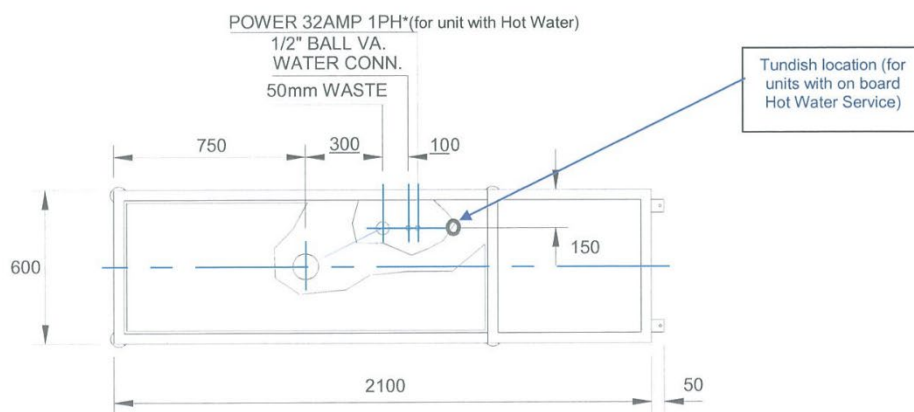
 9.3 Plumbing Schematic Zone Protection 4

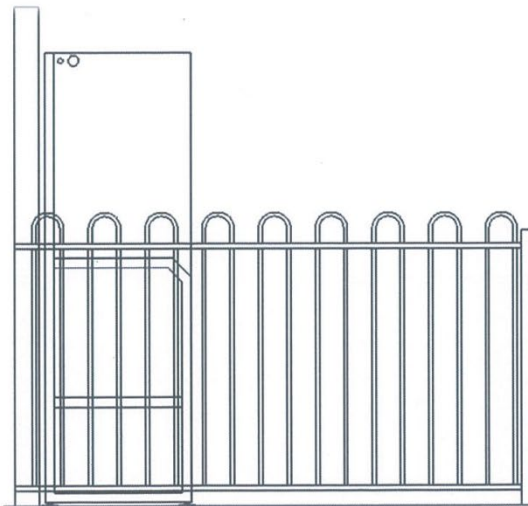
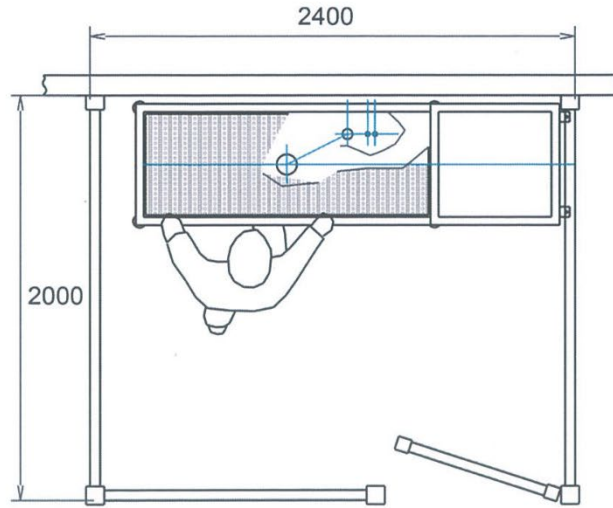
1 Specification Drawings & Plans

1.1 Specifications



1.2 Plan





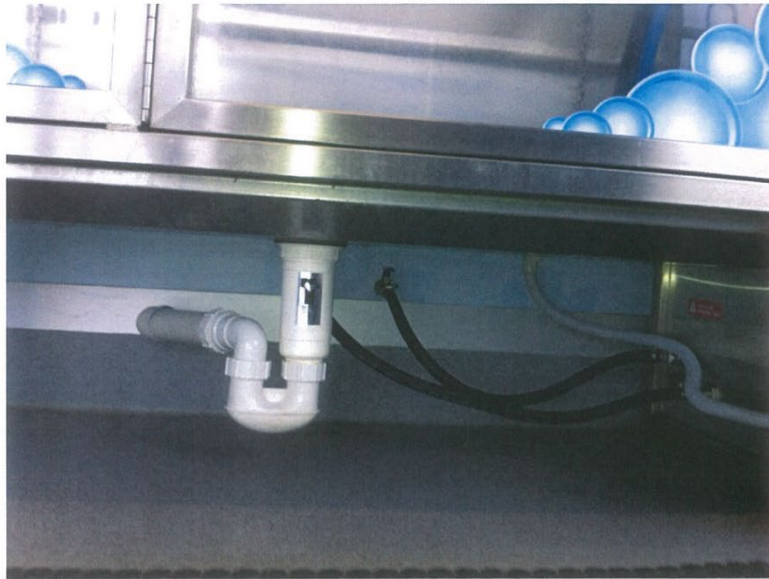
2 System Specifications

SYSTEM WITHOUT ON BOARD HOT WATER UNIT		
Power	240V	15 AMP (with heated dryer)
Power	240V	10 AMP (without heated dryer)
WATER Inlet Pressure (Min) 40psi / 275kpa	Hot	½" Ball valve
	Cold	½" Ball valve
WATER Inlet Pressure (Max) 72psi / 500kpa	Hot	½" Ball valve
	Cold	½" Ball valve
COLD WATER Inlet temperature	Minimum	5 Degrees Celsius
	Maximum	30 Degrees Celsius
HOT WATER Inlet temperature	Minimum	55 Degrees Celsius
	Maximum	65 Degrees Celsius
Factory Set water temperature	35 Degrees Celsius at wash gun	
WATER Maximum Operating Pressure 50psi / 350kpa	Factory set via water regulator	
FILTRATION	Primary	Stainless steel mesh filter
	Secondary	Vinidex DBA Lic. No. WMKA20071
Back Flow Prevention Device	Connections to be protected by a "high hazard" backflow prevention device. i.e. "RPZ" or Registered "Air-GAP" Recommended Watts 009M3-AUS RP 15 or 20mm AS2845.1 Lic WMKA1335	
WASTE	50mm DIA Outlet as well as, a minor trade waste application to be made to the local water regulator (Contact your local water authority trade waste division)	
SYSTEM WITH ON BOARD HOT WATER UNIT		
Power Hot Water Tank	240V	32 AMP (with hot water storage tank)
Power Instant Hot Water	240V	40 AMP (with instant electric hot water service)
WATER Inlet Pressure (Min) 40psi / 275kpa	Cold	½" Ball valve
	Hot	½" Ball valve
WATER Inlet Pressure (Max) 72psi / 500kpa	Cold	½" Ball valve
	Hot	½" Ball valve
COLD WATER Inlet temperature	Minimum	5 Degrees Celsius
	Maximum	30 Degrees Celsius
Factory Set water temperature	35 Degrees Celsius at wash gun	
WATER Maximum Operating Pressure 50psi / 350kpa	Factory set via water regulator	
FILTRATION	Primary	Stainless steel mesh filter
	Secondary	Vinidex DBA Lic. No. WMKA20071
Back Flow Prevention Device	Connections to be protected by a "high hazard" backflow prevention device. i.e. "RPZ" or Registered "Air-GAP" Recommended Watts 009M3-AUS RP 15 or 20mm AS2845.1 Lic WMKA1335	
WASTE	50mm DIA Outlet as well as, a minor trade waste application to be made to the local water regulator (Contact your local water authority trade waste division)	
Tundish	Required for hot water relief pipe (storage tank system only)	
DIMENSIONS / WEIGHT		
Dimensions	Length 2150mm / Height 1850mm / Depth 600mm	
Weight	K9000 2.0 & K9000 - 285kg	K9L & Groom Easy - 225kg
APPROVALS		
Risk assessment performed by IAPMO (NATA accredited laboratory)		
CE conformity with the following European Union Directives: EMC Directive 2004/108/EC & Low Voltage Directive 2006/95/EC		
IEC 61000-6-3:2006 Electromagnetic compatibility (EMC) – Part 6.3: Generic standards – Emission standard for residential, commercial and light-industrial environments		
AS/NZS 60335.2.75:2005 + Admt 2009 in relation to vending machines AS 60204.1:2005 'Safety of machinery – Electrical equipment of machines, General Requirements'		
IEC 61000-6-1: 2005 Electromagnetic compatibility (EMC) Generic standards. Immunity for residential, commercial and light-industrial environments.		
ATS 5200.101:2005 – Strength of Assembly		
EPA Registered Noise tested rating of 66dba @ 4 meters		
USAGES		
Water usage: 8 to 12 litres per minute (40-60 litres per single dog wash)		
Average power usage per wash cycle is .76kwh (dependent on hot water source)		

3 Waste

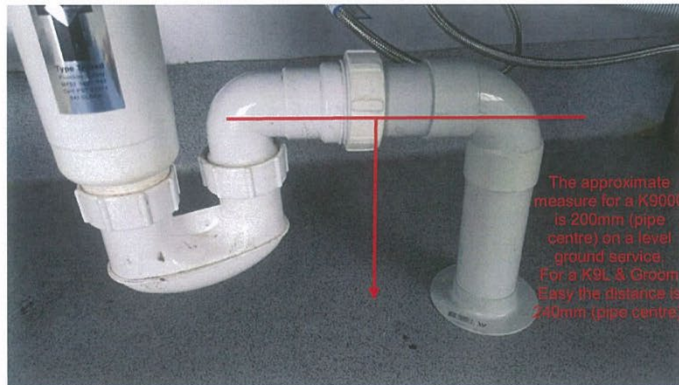
3.1 Existing Sites

Shown below is a K9000 that has been installed into an existing room. The 50 mm connection points were run through the back wall to the existing waste point. Other possibilities are to run the 50mm connection points along the walls to an existing waste point.



3.2 New Sites

Shown below is a K9000 that has been installed at a new site where the site has allowed for the waste point as part of construction. Note, new sites may also utilise external waste points, and run the connection through or along the wall.



4 Hot Water

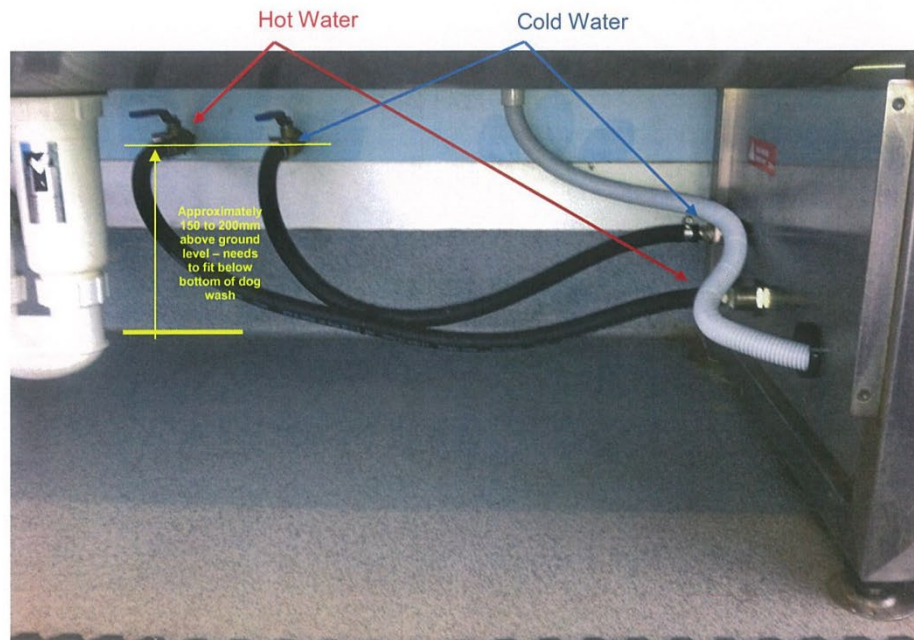
Hot water can be sourced from the site or the dog wash can include an on-board hot water service.

Important Should you choose not to have an onboard hot water system, it is strongly recommended a dedicated hot water system be used as your existing hot water system may, or may not be suitable for the dog wash. Tru Blu are only too happy to consult with you in assessing your current hot water system to ensure the dog wash will operate at its maximum efficiency.

4.1 Site Supplied Hot Water

Shown below is a K9000 that was installed at a site that supplied HOT water, and as such the unit did not require to have an on-board hot water service.

**Please consult with Tru Blu Dog Wash to ensure your existing hot water supply is adequate.*



4.2 On Board Hot Water Service

Shown below is a K9000 with an on-board hot water storage service. It requires a Tundish to collect any water that is expelled from the relief valves. An air gap is to be maintained in accordance with ANS/NZS 3500.2:2015 C1.4.6.8.1(b) between the copper pipe outlet and the top of the tundish. A Tundish is not required for an instantaneous hot water system.



Tundish with air gap between the copper pipe and tundish highlighted. Only required for on board Storage Hot Water Unit

Below left, a dog wash with hot water storage service installed, and pictured right, a dog wash with instantaneous hot water unit.



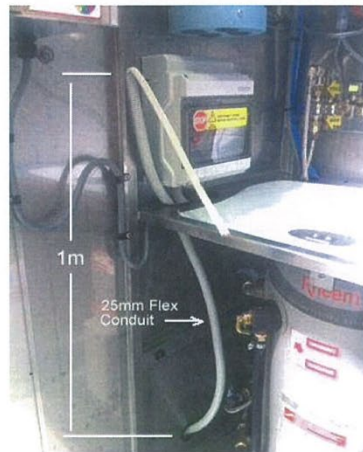
5 Back Flow Prevention Device

Connections need to be protected by a "high hazard" backflow prevention device. The below picture highlights the use of a reduce pressure backflow preventer ("RPZ"). Refer to appendix 8.1, Plumbing Schematic Individual Protection drawing.



6 Electrical Installation of the Unit

The below picture is the main electrical cable inside the cabinet. It enters through the gland underneath the dog wash close to the ground. Run the power cable in 25mm flexible conduit as there is a socket already installed in the bottom of the main circuit breaker box shown. Leave 1m in length after you have reached the bottom gland. *If a new power point/source is being installed for the dog wash it needs to be below 370mm from the floor as the back of the dog wash fits flush with the wall.*



The above picture shows the main electrical cable entry point into the dog wash. Once you have run the cable and conduit to this point, leave another 900mm for the termination inside the cabinet.

Dog Wash Unit	Current Protection	Max Current
Standard	10 AMP	9.2 AMP
Standard with Heated Dryer	15 AMP	13 AMP
Standard with Storage Hot Water Service	32 AMP	25 AMP
Standard with Storage Hot Water Service & Heated Dryer	32 AMP	28 AMP
Standard with Instantaneous Hot Water (either dryer type)	40 AMP	40 AMP

7 Fact Sheet

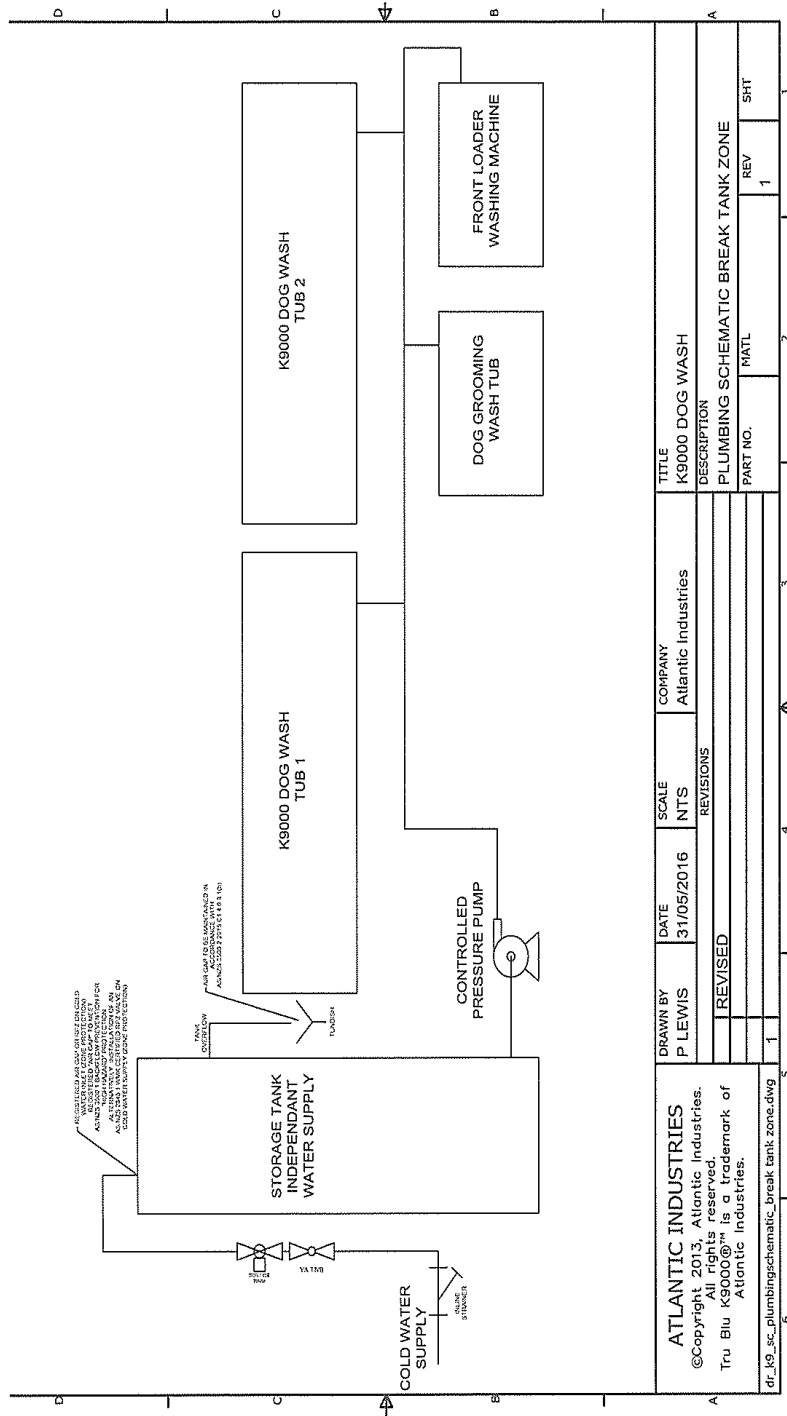
Fact Sheet

- Unit connects to existing services
 - Hot/Cold Water*
 - 50mm Sewer Waste**
 - 240-volt, 10-amp power supply (standard unit)
 - 240-volt, 15-amp power supply (standard unit with heated dryer)
 - 240-volt, 32-amp power supply (with storage hot water unit)
 - 240-volt, 40-amp power supply (standard with instantaneous hot water unit, with or without either dryer type)
- A Hot Water unit is optional, can be fitted if required.
- Water usage: 8 to 12 litres per minute (40-60ltrs per wash)
- Length 2150mm / Height 1850mm / Depth 600mm
- Weight K9000 2.0, K9000 285kg, K9L & Groom Easy 225kg
- Standard wash charge is recommended to be between \$10 & \$12, for 10 minutes of wash time (minimum start-up)
- Cost to wash each dog is approximately 90 cents to \$1.20
- Average power usage per wash cycle is .76 kwh

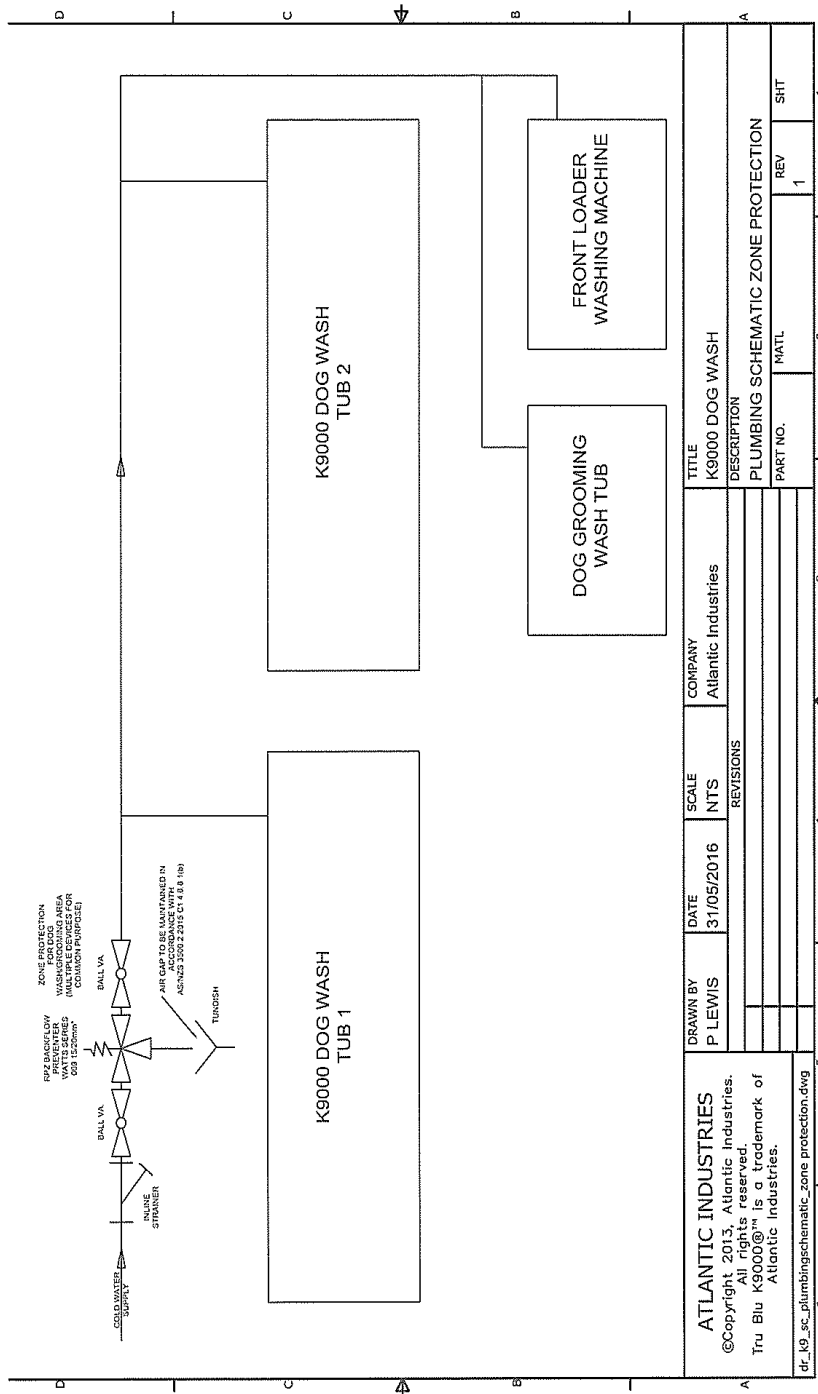
**Note: Connections to existing hot/cold water to be protected by a "high hazard" backflow prevention device. i.e. "RPZ" or Registered "Air-Gap"*

***Note: A minor trade waste application is to be made to the local water regulator (Contact your local water authority trade waste division)*

8.2 Plumbing Schematic Break Tank Zone



8.3 Plumbing Schematic Zone Protection



9 Attachments

9.1 Plumbing Schematic Break Tank Zone

 
dr_k9_SC_plumbingsc
hematic_break tank.zc

9.2 Plumbing Schematic Individual Protection

 
dr_k9_SC_plumbingsc
hematic_REV1.pdf

9.3 Plumbing Schematic Zone Protection

 
dr_k9_SC_plumbingsc
hematic_zone_protecti